

2.0 Purpose

To consider the form and character of the first 5 commercial buildings associated with the Ponds Village Centre.

3.0 Land Use Management

This proposal is to develop the first portion of the commercial village centre to set the stage for the vision of this village centre. Neighbourhood 3 is one of the last relatively large designated and undeveloped areas within the City and it is envisioned to be a neighbourhood destination for social activities, shopping and day-to-day business. Staff have been encouraging development of the South Gordon Village Centre for a number of years to serve the growing South West Mission sector of the City.

The Village Centre will be phased over time, but 5 commercial retail buildings are being considered with the initial commercial phase. The first phase will consist of single storey commercial buildings which will provide essential services to the area. Upon completion of the initial phase and securing of critical anchor tenants, mixed use developments of up to 4 storeys will be brought forward to fulfill the Area Structure Plan's vision for the core village area. As noted in the ASP, *"establishing a higher concentration of population within and around the commercial district will help to sustain the local businesses and the viability of transit service to Neighbourhood 3"*. It is envisioned that this village centre will be realized through unique and distinct urban design which will be made possible by architecturally rich buildings, pedestrian oriented design and active streetscapes that are not typical of suburban commercial shopping areas.

Ideally, a mixed use form of development as envisioned in the Area Structure Plan would set the stage for the remaining commercial phases. However, the applicant has indicated:

Given market conditions at the time of development it is hoped that upper floor residential or commercial uses may be incorporated for the second phase of development when the village core has become an established destination (south side of Frost Road).

Architectural design guidelines have been developed to give direction to the built form for this village centre, and to ensure that future phases will have a design relationship to one another. The site layout, building form/character and finishes, and signage will be guided by architectural expressions that are rooted in the historic mission area character and scale but modernized.

In summary, each of the buildings emulate a distinct but related design response for the commercial buildings. The site plan has been programmed to allow pedestrian activity throughout with complimentary tenancies to accommodate spill-out business activity onto the sidewalk to animate Frost Road. Parking is programmed for the rear of the site, but the building forms acknowledge that they need to have a functional relationship for auto-entrances but to have an aesthetic and active relationship to the streetscape. The building design and architectural treatment will set the stage for future phases to encourage a unique commercial experience that attracts active, vibrant uses to meet the vision of the Village Centre.

4.0 Proposal

4.1 Background

The Neighbourhood 3 Area Structure Plan (ASP) was submitted to the City on January 31, 2007. The purpose of the plan was to envision a logical pattern of development for the Neighbourhood 3 area that would result in a high quality, attractive, complete community. The Village Centre is the central component of the plan and will become the community centre.

I 3.1



NEIGHBOURHOOD 3 VILLAGE CENTRE – ARTIST'S CONCEPT (F. DUCOTE)

The ASP outlines a number of important Design Principles that should be carried through to the detailed design. The main component of the Village Centre will be a “High Street” as noted in the ASP:

“The street’s prominence should warrant an appropriate level of spatial and visual treatment to identify it as the principal public space within the neighbourhood. A strong complement of street trees is expected. The street environment should facilitate social interaction and provide a sense of safety for residents and visitors. Key characteristics should include a high degree of transparency into spaces at street level, as well as detailing of buildings and streetscape elements that relate to human scale and contribute to a positive, distinctive sense of place.”

As noted on the Village Concept Plan, the community building focus is stated as:

- ‘Main street’ with curb access/not strip-mall with central parking
- ‘the Commons’ for community events
- ‘Plazas’ string of pearls encouraging visible outdoor activity
- ‘Green Links’ to surrounding neighbourhoods.

4.2 Project Description

The applicant has submitted a Development Permit application for the first 5 buildings associated with the Ponds Village Centre. The applicant has indicated that the village architecture will be seen as having a variety of building types and architectural expressions that could be seen as being “built over time”, all being influenced by the unique aspirations of their own period of time. This will avoid the undesirable consistency of building types and expressions as seen by many of the current commercial centres. The buildings fronting the four corners will reflect this philosophy with small scale buildings varied in building form and character. These buildings will express more of the historic Mission area character and scale, but having a new contemporary twist in uses and architecture. For example, transitional architecture based on the regional Mission agrarian roots and materials but with new contemporary forms, building detailing and material usage. The proposed landscape and pedestrian scheme is of very high quality and will tie into the nearby Powerline Park and the existing multi-modal form of development established throughout the Ponds neighbourhood. As attachments to this report, the applicant has provided a few additional design guidelines and addresses some of the inconsistencies with the Area Structure Plan. The application conforms to the City’s Zoning Bylaw No. 8000 as follows:

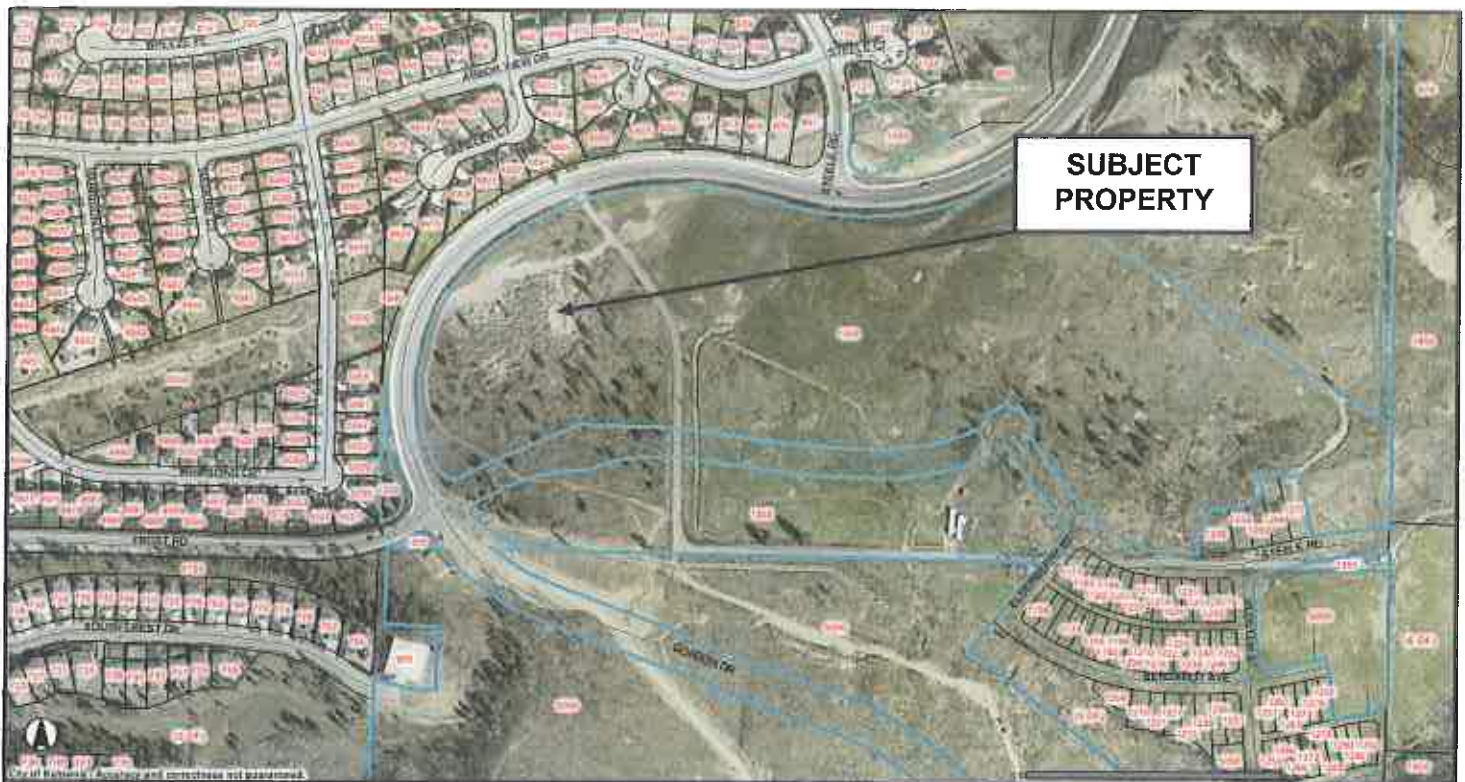
| Zoning Analysis Table | | |
|------------------------------|-----------------------------|-----------------------------|
| CRITERIA | C3 ZONE REQUIREMENTS | PROPOSAL |
| Development Regulations | | |
| Floor Area Ratio | 1.0 | 0.24 |
| Site Coverage | 50% | 23.8% |
| Height | 15 m / 4 storeys | 1 storey |
| Front Yard | 3.0 m | 12.2 m |
| Side Yard (east) | 0.0 m | 16.4 m |
| Side Yard (west) | 0.0 m | 0.0 m |
| Rear Yard | Meets requirement | 0.0 m |
| Other Regulations | | |
| Minimum Parking Requirements | 102 stalls | 102 stalls |
| Bicycle Parking | Class I: 11 Class II: 36 | Class I: 11 Class II: 31 |
| Loading Space | 4 stalls | 4 stalls |

4.3 Site Context

The subject properties are located in the South West Mission Sector and the adjacent land uses are as follows:

| Direction | Zoning Designation | Land Use |
|-----------|-------------------------|-------------|
| North | RU1 - Large Lot Housing | Residential |
| West | RU1 - Large Lot Housing | Residential |
| South | A1 - Agriculture 1 | Vacant |
| East | RU1 - Large Lot Housing | Residential |

4.4 Subject Property Map



5.0 Kelowna Official Community Plan (OCP)

5.1 Urban Design Development Permit Areas (Chapter 14) - Design Guidelines

Comprehensive Design Guidelines

Authenticity and regional expression

- Incorporate landscaping and building form and character that is distinct to Kelowna and the Central Okanagan and conveys a sense of authenticity;
- Respond architecturally to summer sun with buildings that have overhangs and recesses of sufficient depth to provide comfort and shade;

Context

- Align architectural features (e.g. window rhythm, cornice lines) to create visual continuity with neighbouring buildings;
- Design developments with multiple buildings such that there is a sense of architectural unity or cohesiveness.

Human Scale

- Design for human scale and visual interest in all building elevations. This can be achieved principally by giving emphasis to doors and windows and other signs of human habitation relative to walls and building structure;
- Incorporate windows with vertical proportions. Horizontal glazed areas should be divided into vertically proportioned windows separated by mullions or building structure;

Pedestrian access, provision for cyclists, circulation, vehicles and loading

- Promote the use of alternative modes of transportation in site design (e.g. prominent bicycle racks for convenience and security, orient building entrances to pedestrian areas);
- Provide public access through sites to maintain or enhance the pattern of active transportation within the neighbourhood (e.g. mid-block crossings);
- Ensure pedestrian circulation is convenient, safe, and clearly identifiable to drivers and pedestrians;
- Provide paved surfaces with visual interest (e.g. eliminate curbs and/or use bollards, stamped concrete, unit pavers, etc.);
- Incorporate visible and secure bicycle parking in a priority location with the construction of all new parkades and parking lots;

6.0 Technical Comments

6.1 Building & Permitting Department

- Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s) for new construction.
- A Building Code analysis is required for each of the structures at time of building permit applications. The buildings are to meet the minimum requirements of Part 10 of BCBC
- Size and location of all signage to be clearly defined as part of the development permit.
- A minimum number of washrooms including H/C washrooms are required for the base building as part of the base building permit. Additional washrooms if required will be addressed at time of tenant improvement permits.
- Full Plan check for all other Building Code related issues will be done at time of Building Permit applications

6.2 Development Engineering Department

All the servicing requirements necessary for this development have been addressed in the Development Engineering rezoning report under file Z12-0021.

6.3 Fire Department

Fire department access, fire flows, and hydrants as per the BC Building Code and City of Kelowna Subdivision Bylaw #7900. The Subdivision Bylaw requires a minimum of 150ltr/sec flow. Access roads are to meet the 12M centre line radius requirement for emergency vehicles. Additional comments will be required at the building permit applications.

6.4 Fortis BC - Gas

Upon review of the property referral referencing the above noted matter, please be advised that FortisBC has no objection to the applications. There are two 60mm DP/PE pipeline segments inside the property line that may ultimately require some form of alteration in order to run the gas lines more directly to the actual building as required (or to move away from any proposed building footings and/or foundations), but this is not a concern at this point in time.

6.5 Fortis BC - Electric

As to the proposed landscape plan indicates establishment of trees adjacent to right of way plan A1568, FortisBC reserves the right to remove vegetation that encroaches into its right of way in conjunction with future development within the right of way. The

proponent may wish to consider establishment of trees with a columnar structure with reduced spread into the right of way area. Please send along any amendments to these referrals for further review and comment by FortisBC.

7.0 Application Chronology

Date of Application Received: March 21, 2012

Report prepared by:

Alec Warrender, Land Use Planner

Reviewed by:



Danielle Noble, Manager of Urban Land Use

Approved for Inclusion:



Shelley Gambacort, Director of Land Use Management

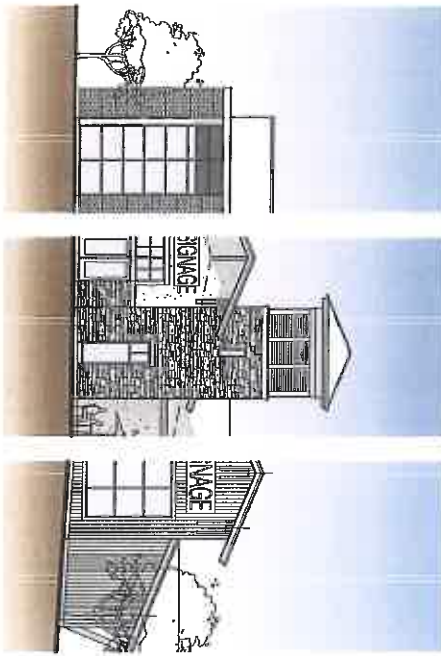
Attachments:

- Site Plan
- Conceptual Elevations
- Landscape Plan
- Design Rationale

VILLAGE CONCEPT

Issued for Development Permit
March 16, 2012

SCHEDULE A
This forms part of development
Permit # DP12-0053



VILLAGE at the PONDS



P+A

March 2012

Kelowna, BC

STREETSCAPE



STREETSCAPE OF SOUTH BUILDING ELEVATIONS

THE BEGINNING OF THE VILLAGE - THE FOUR CORNERS

The village architecture will be seen as having a variety of building types and architectural expressions that could be seen as being "built over time", all being influenced by the unique aspirations of their own period of time.

This will avoid the undesirable consistency of building types and expressions as seen by many of the current commercial centres.

The buildings fronting the four corners will reflect this philosophy with small scale buildings varied in building form and character.

These buildings will express more of the historic Mission area character and scale, but having a new contemporary twist in uses and architecture.

Inter transitional architecture based on the regional Mission agrarian roots and materials but with new contemporary forms, building detailing and use of materials.

COMMUNITY COMMONS

The "fourth" corner site (phase two) will feature an open space amenity to reflect the objective of becoming not only a commercial destination centre, but a community gateway destination to linger, shop and enjoy a unique informal lifestyle.

SITE PLAN/LANDSCAPE CHARACTER

- the "Green" (sloped) entry drive experience (transition zone)
- the four corners including the community amenity
- Frost Road streetscape including angled parking
- Multiple and varied connections via the ROW, adjacent properties and community (including bike links and provisions)
- unique and varied grouping of buildings to form special outdoor plaza amenity areas all connected to each other by pedestrian corridors
- entry markers and monuments

PARKING

Even though pedestrian connections and amenities are important for these emerging nontraditional shopping areas, convenient parking is vital for success, especially for this new location away from the high density community areas.

Key to this is to maximize the street parking on Frost Road to encourage shop owners to front the streets.

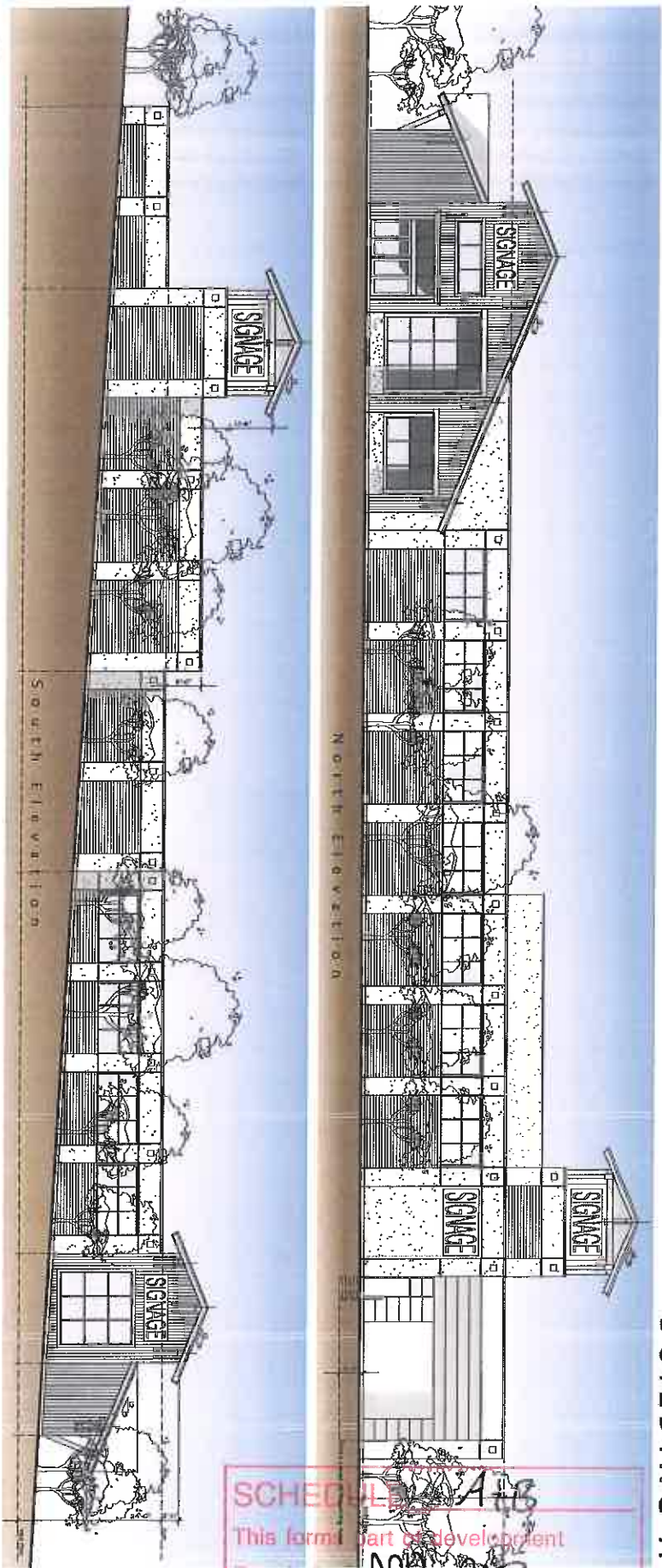
It is an important psychology regarding street parking convenience and market expectations. This has now become evident for all new commercial developments that have come to rely on predominant street parking to signal convenience to their customers and shop owners.

SCHEDULE A7B
 This forms part of development
 Permit # D012-0053

VILLAGE at the PONDS



BUILDING A



SCHEDULE A+B
 This form part of development
 Permit # DP12-0053

THE MARKET BUILDING (Building A)

The entry/cashier/vegetable/fruit area of the market building will anchor the westerly end of the village. Immediately next to the four corner buildings.

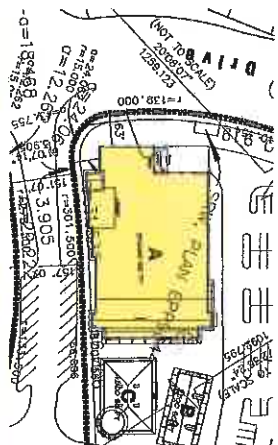
This above area will be featured with its own casual "market type" building expression of glazing, informal materials and simple roof form and detailing.

The remaining building behind will be buried into the grade and be thought of as an "addition" to the main entry building form.

Glazing will be featured in the entry area to front Frost Road, westerly entry facade and to the parking to the north.



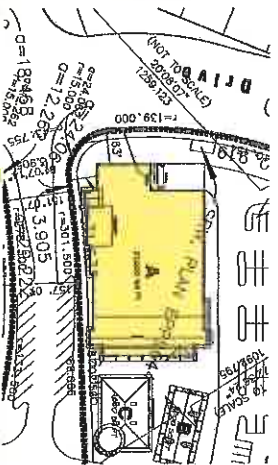
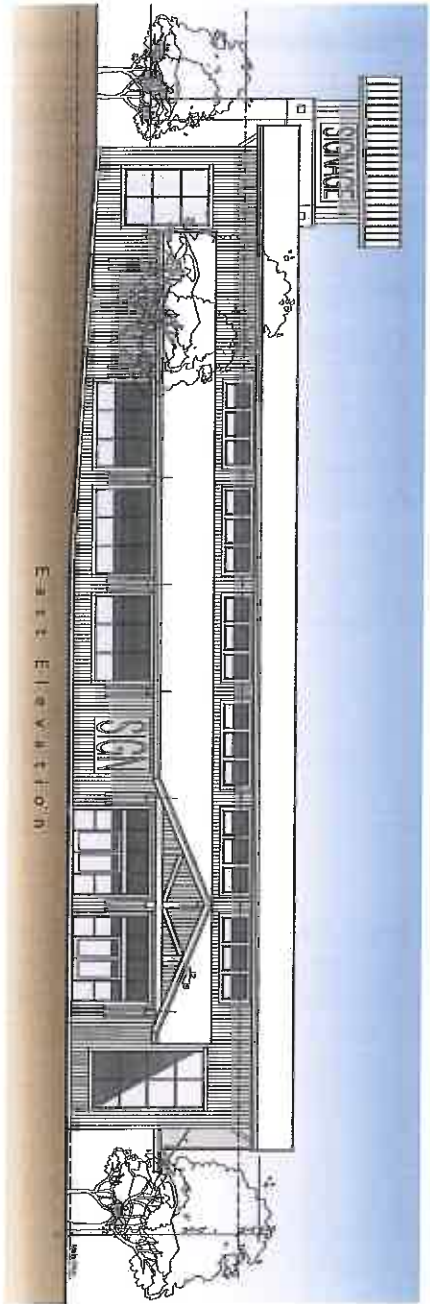
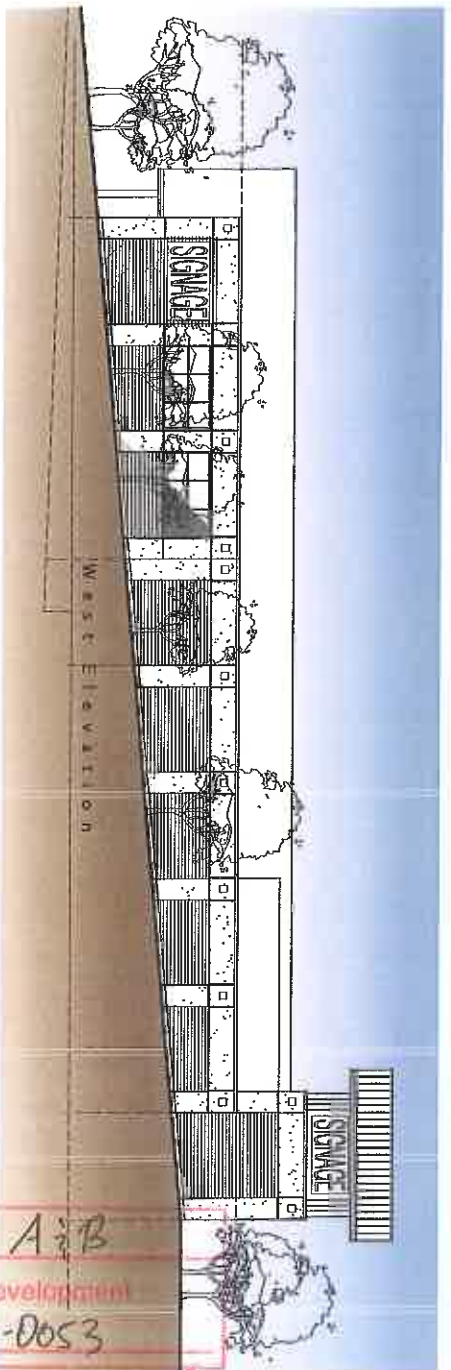
| | | | |
|--------------------------|--|--------------------------|--|
| <input type="checkbox"/> | Stucco/Concrete Wall Painted Colour: BM, Natural Wicker OC-1 | <input type="checkbox"/> | Facade, timber detailing, braces, window trims Wood Stained: Broda, Oxford Brown, 219 |
| <input type="checkbox"/> | Roof Gables and RMT Colour: Black | <input type="checkbox"/> | Window frames and doors Aluminum storefront Colour: Anodized Aluminum, Clear Finish |
| <input type="checkbox"/> | Inset wall panels Stucco/Concrete Painted Colour: BM, Nantucket Gray, HC-111 | <input type="checkbox"/> | Sloped roof areas Fiber glass shingles Colour: Red, Cambridge, Castle Grey |
| <input type="checkbox"/> | Vertical Cornerous Siding Painted Colour: BM, Watersfield Moss, HC-110 | <input type="checkbox"/> | Accent sloped roof areas Standing seam metal roof Colour: Charcoal, VW 6072, Viewast, Coldline |
| <input type="checkbox"/> | Entry Canopy, Steel and Glass Colour: BM, Natural Wicker OC-1 | | |



VILLAGE at the PONDS

March 2012 Kelowna, BC SK-50.1
 1/8" = 1'-0"

BUILDING A



SCHEDULE A & B
 This forms part of development
 Permit # DP12-0053

VILLAGE at the PONDS

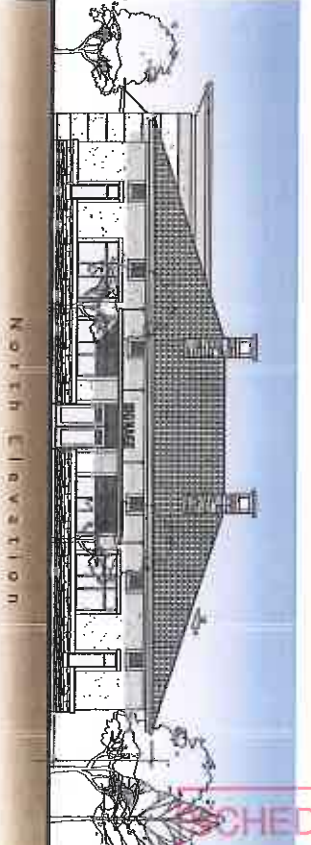
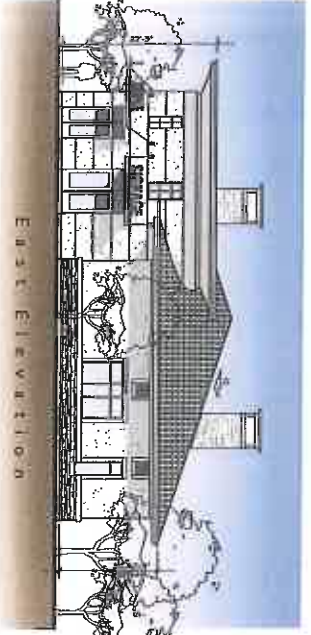
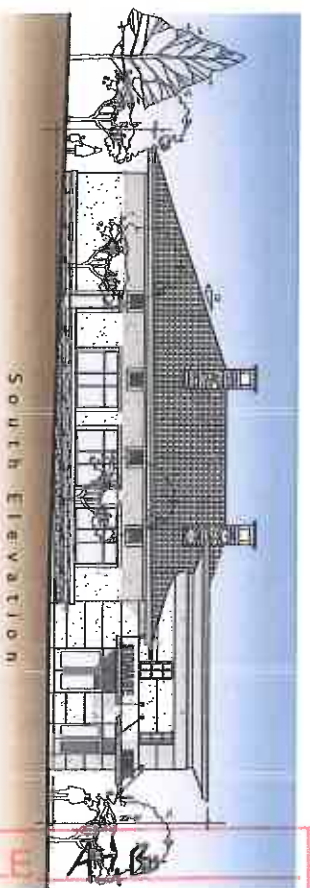
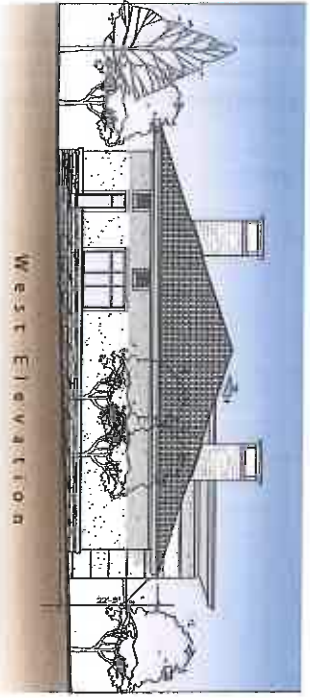


March 2012
 1/8" = 1'-0"

Kelowna, BC

SK-502

BUILDING C



SCHEDULE A/B
 This forms part of development
 Permit # DP12-0053

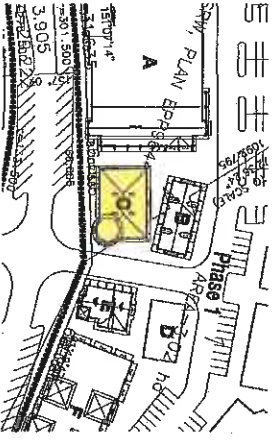
FEATURE BUILDING (Building C)

This small scaled feature building is located between the four corners intersection and the market building to the west.

A unique, round, drum shaped building feature is seen as an important fronting building component as an "addition" to a simple small scaled but elegant building of the region's character.

- Stucco Walls and soffits
Acrylic smooth finish
Colour: BM; Natural Wicker; OC-1
- Raised stucco window trim
Acrylic smooth finish
Colour: BM; Decatur Buff; HC-38
- Stone veneer Ashlar pattern
Colour: Rustic; Southern Ledger Stone/
Cultured Stone
- Stucco drum wall with horizontal reveals
Acrylic smooth finish
Colour: BM; Decatur Buff; HC-38
- Entry Canopies
Steel and glass
Colour: BM; Natural Wicker; OC-1

- Fascias; Brackets; Drum Truss Panel
Wood
Stained Broda; Oxford Brown 219
- Sloped roof eaves
Concrete Tile (Double Roman)
Colour: Classic Brown; Columbia Concrete
- Gutters/RVM
Aluminum prefinished
Colour: Black
- Window frames and doors
Aluminum storefront
Colour: Anodized Aluminum; Clear Finish

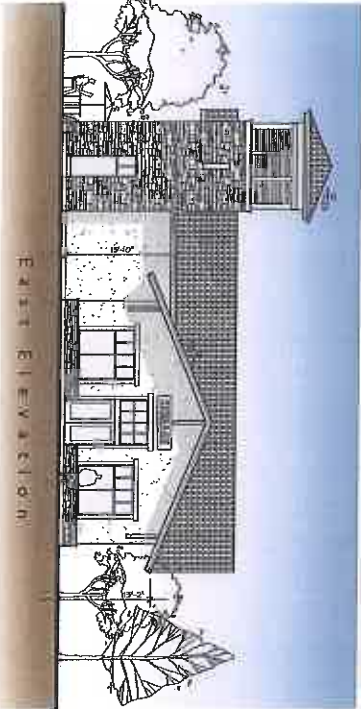


VILLAGE at the PONDS



March 2012 Kelowna, BC SK-51.1
 1/8" = 1'-0"

BUILDING E



SCHEDULE A+B
 This forms part of development
 Permit # DP12-0053

THE COFFEE HOUSE BUILDING (Building E)

The coffee house (Building E) will anchor the four corners with its social use, destination, outdoor "dining" activities and distinctive character and tower element.

This building could be most "traditional" in architecture and could include a bell/corillon tower to reinforce this community destination and identity.

The south/west outdoor orientation to the sun and four corners is of vital importance to this proposed use with outdoor dining functions.

It is here where people can sit, eat, and meet each other. Colourful umbrellas and interesting outdoor patio furniture should be located at this outdoor pizza area.

| | | | |
|--------------------------|--|--------------------------|---|
| <input type="checkbox"/> | Succo walls Acrylic smooth finish Colour: 8M, sandy Brown, CC-150 | <input type="checkbox"/> | Window frames and doors Aluminum storefront Colour: Anodized Aluminum, Clear Finish |
| <input type="checkbox"/> | Soffit, Braces, Fascias Wood "V" groove Stained: Broda, Oxford Brown 219 | <input type="checkbox"/> | Roof areas Concrete tiles (Double Roman) Colour: Classic Brown, Columbia Concrete |
| <input type="checkbox"/> | Raised window trim, smooth finish acrylic smooth finish Colour: Sandy Brown CC-150 | <input type="checkbox"/> | Roof tower accent area Concrete tiles (Double Roman) Colour: Classic Brown, Columbia Concrete |
| <input type="checkbox"/> | Stone veneer Ashlar pattern Colour: Rustic Southern LedgeStone, Cultured Stone | <input type="checkbox"/> | Gutters/RVI Aluminum pre-finished Colour: Black |



VILLAGE at the PONDS

March 2012
 1/8" - 1'-0"

Kelowna, BC

SK-52.1

BUILDING F



West Elevation



South Elevation

SCHEDULE A+B
 This forms part of development
 Permit # DD12-0053

THE CORE (MULTI-USE) BUILDING (Building F)

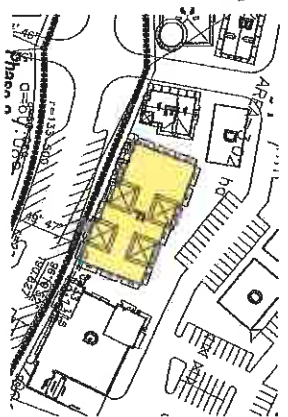
This central building will provide pedestrian connections from the four corners buildings to the pharmacy building that will include covered connections to all sides of the building.

The shop fronts will face both Frost Road and to the parking to the north with potential back to back tenant spaces.

The architecture of this building should be varied in form but quieter than the other "free standing" buildings to either side.

Steel and glass canopies will be incorporated into the storefront facades for weather protection around this building.

| | | | |
|--------------------------|--|--------------------------|---|
| <input type="checkbox"/> | Succo wall Acrylic north finish Colour: 5M, Natural Wides OC-1 | <input type="checkbox"/> | Window frames and doors Aluminum storefront Colour: Anodized Aluminum, clear finish |
| <input type="checkbox"/> | Facades, Trims, Brackets Wood Stained Broda, Oxford Brown 219 | <input type="checkbox"/> | Entry Canopies Steel and glass Colour: 3M, Natural Wides, OC-1 |
| <input type="checkbox"/> | Inset signage panels Horizontal corrugated metal Colour: Anodized Aluminum, clear coat (to match storefront framing) | <input type="checkbox"/> | Sloped roof area Fiberglass shingles Colour: KO, Cambridge, Castle Grey |
| <input type="checkbox"/> | Standard brick module Gallner Face Colour: Mariberry, IX, Hebron Brick | | |



VILLAGE at the PONDS



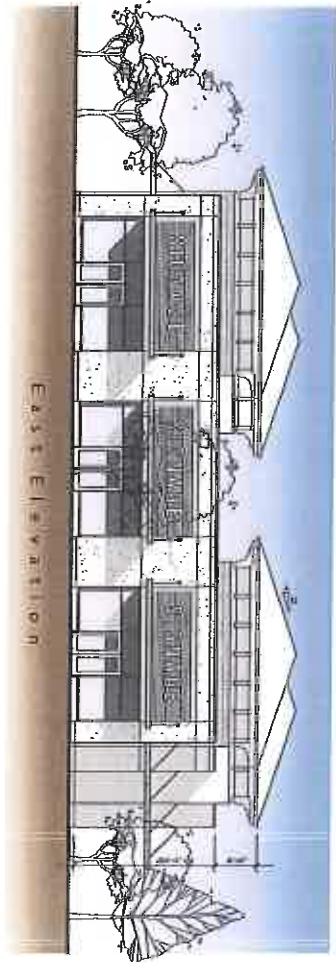
P+A

March 2012
 1/8" = 1'-0"

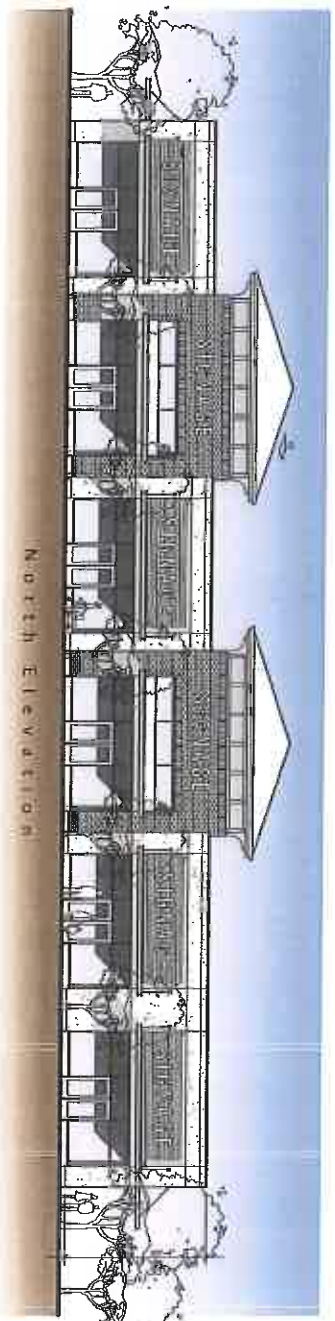
Kelowna, BC

SK-53.1

BUILDING F

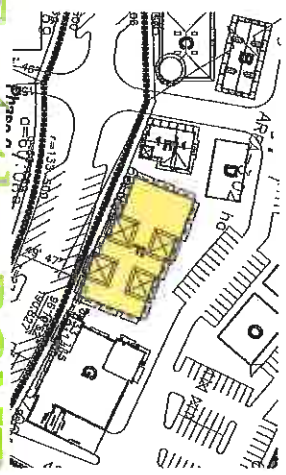


EAST ELEVATION



NORTH ELEVATION

SCHEDULE A & B
This forms part of development
Permit # DP12-0053

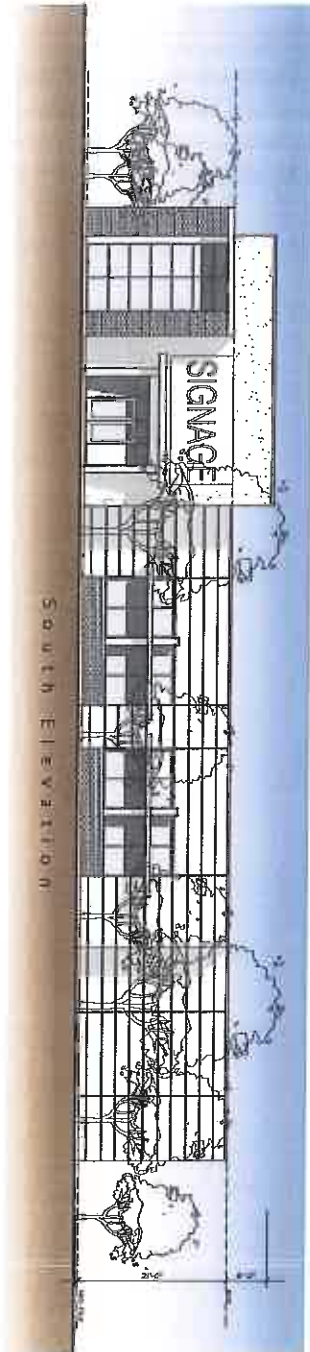


VILLAGE at the PONDS

March 2012 Kelowna, BC SK-532
1/8" = 1'-0"



BUILDING G



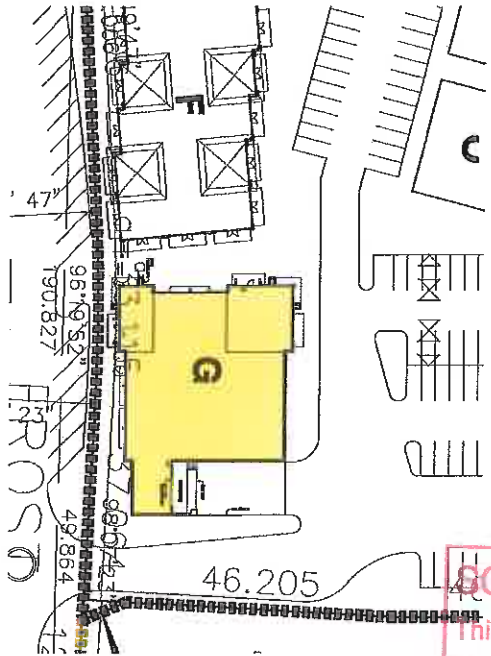
South Elevation



West Elevation

- Acrylic etched wall panels
Colour: BM, Sand/ Brown, CC-150
- Metal Panel with panel reveals
Colour: BM, Nantucket Gray, HC-111
- Standard Brick, Module
Colour: Mahogany, XL, Hebron Brick

- Window frames and doors
Aluminum storefront
Colour: Anodized Aluminum, Clear Finish
- Entry Canopies and Wall Pillars
Composite Material
Colour: BM, Excite Red, 2056-10



THE PHARMACY BUILDING (Building G)
 The pharmacy building will anchor the eastern end of the phase one village core.

This building will be the most contemporary with its architecture but having similar detailing components as the other buildings. This will express the expectations and nature of the pharmaceuticals.

Glazing will front Frost Road, westerly and to the parking to the north.

Building entrances should front Frost Road and to the amenity plaza to the west. The central portion of the area (located to the east) shall be well screened and shielded from adjacent views.

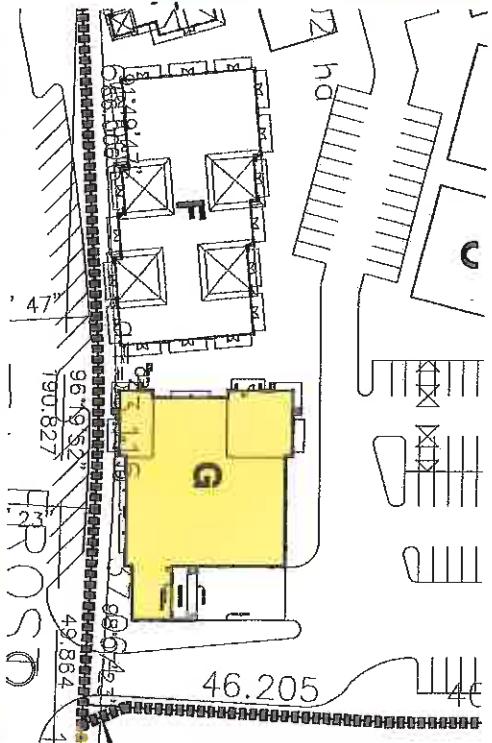
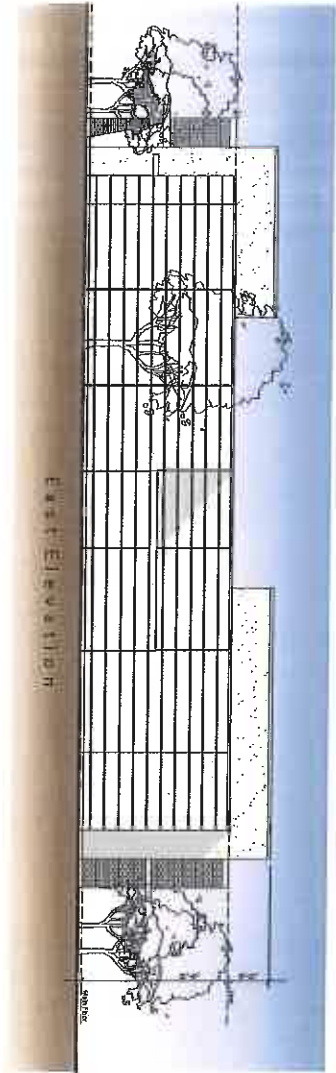
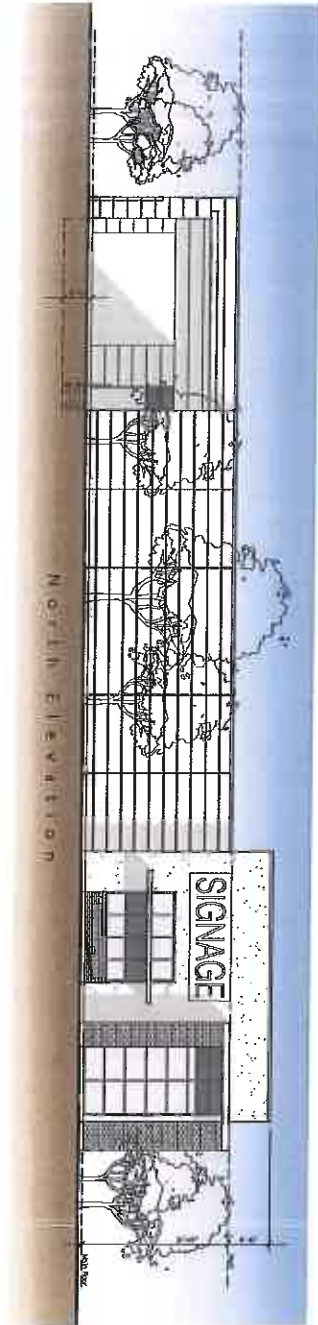
SCHEDULE A-13
 This forms part of development
 Permit # **DD-0053**

VILLAGE at the PONDS



March 2012 Kelowna, BC SK-54.1
 1/8" = 1'-0"

BUILDING G



VILLAGE at the PONDS

March 2012
1/8" - 1'-0"

Kelowna, BC

SK-54.2



P+A

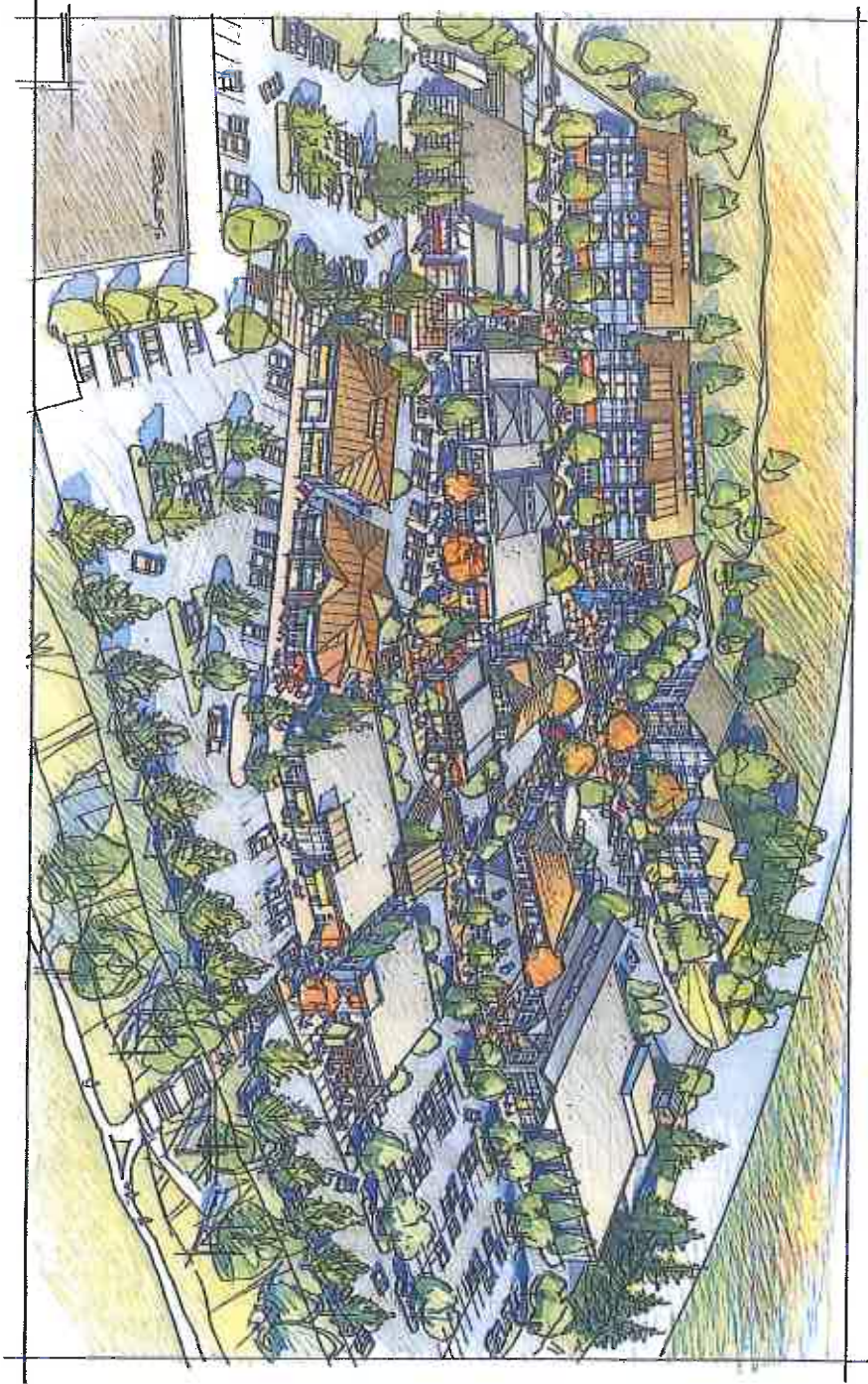


CALLAGHAN GROUP

SCHEDULE A+B
This forms part of development
Permit # DP12-0053

VILLAGE CONCEPT

Issued for Development Permit
March 16, 2012



SCHEDULE IS
This forms part of development
Permit # DPD-0053

VILLAGE at the PONDS

March 2012

Kelowna, BC





DETAIL KEYS

| | |
|-----|--------------------|
| 1 | CONCRETE SIDEWALK |
| 2 | LANDSCAPE LIGHTING |
| 3 | CONCRETE DRIVEWAY |
| 4 | CONCRETE DRIVEWAY |
| 5 | CONCRETE DRIVEWAY |
| 6 | CONCRETE DRIVEWAY |
| 7 | CONCRETE DRIVEWAY |
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SCHEDULE ➤

This forms part of development
Permit # **DDP-0003**

P+A

Plan & Architecture
1200-11111
1200-11111
1200-11111
1200-11111

2 round for DP
1 round for below
March 15, 2012
March 15, 2012
Date



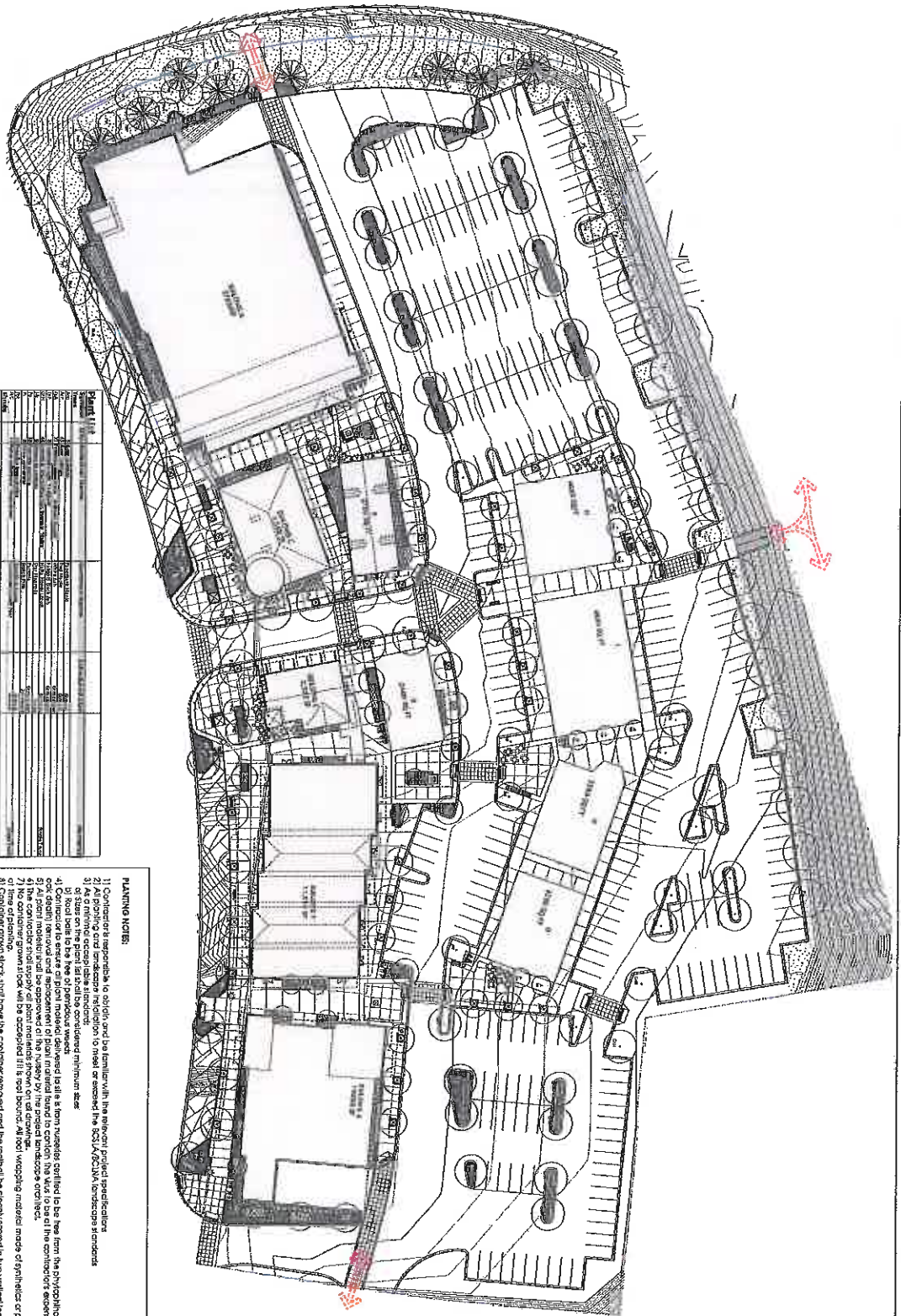
ELLANORA

VILLAGE AT THE PONDS
KELOWNA, BC

Phase 1 Landscape Plan

Drawn By: [Signature]
Checked By: [Signature]
Date: 11-05-2011

Scale: 1:100
Sheet: L-1.0



| Plant | Quantity | Notes |
|-------|----------|-------|
| 1.00 | 100 | ... |
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- PLANTING NOTES:**
- 1) Contractor responsible to obtain and be familiar with the relevant product specifications
 - 2) As a minimum, acceptable standards
 - 3) As a minimum, acceptable standards
 - 4) Contractor shall be responsible to provide all plants, materials and labor for the installation of plants
 - 5) All plants shall be approved by the nursery by the project landscape architect
 - 6) No container grown stock will be accepted. All stock must be field grown and acceptable
 - 7) No container grown stock will be accepted. All stock must be field grown and acceptable
 - 8) Contractor shall be responsible to provide all plants, materials and labor for the installation of plants
 - 9) Contractor shall be responsible to provide all plants, materials and labor for the installation of plants
 - 10) All plants shall be approved by the nursery by the project landscape architect
 - 11) Contractor shall be responsible to provide all plants, materials and labor for the installation of plants
 - 12) The contractor shall be responsible to provide all plants, materials and labor for the installation of plants
 - 13) All planting beds to have a minimum 75 mm depth of 25mm mesh screened composted bark mulch (not on ground cover) and 150mm of topsoil over the mulch. All planting beds shall be watered on a regular basis.
 - 14) The contractor shall be responsible to provide all plants, materials and labor for the installation of plants
 - 15) The contractor shall be responsible to provide all plants, materials and labor for the installation of plants
 - 16) Plant species used to include BC, WA, OR & CA.

SCHEDULE C
 This forms part of development
 Permit # **DP18-0053**

P+A

Project: Villages at the Ponds
 Location: Kelowna, BC
 Date: 11-05-25

3 issued for review
 1 issued for review
 March 15, 2012
 March 13, 2012

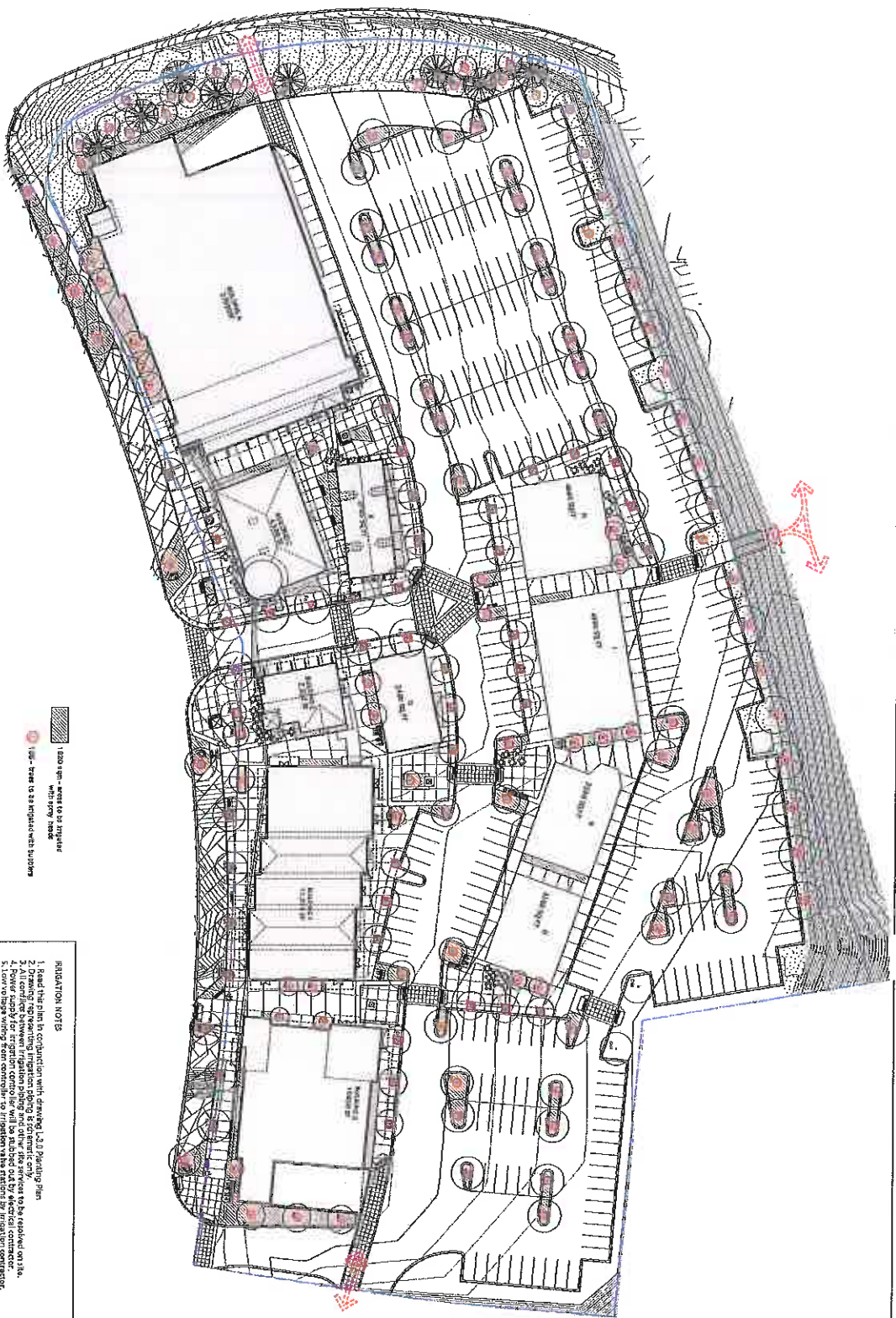


CELL-LANDSCAPING
 VILLAGES AT THE PONDS
 KELLOWNA, BC

Phase 1 Landscape
 Planting Plan

Drawn By: [Signature]
 Checked By: [Signature]
 Date: 14-00
 Job No.: 11-05-25

L-3.0



1500 gpm - meter to be installed with flow meter

150 - Valve to be installed with building

- IRRIGATION NOTES**
1. Read this plan in conjunction with drawing L-3.0 Planning Plan
 2. Drawing represents irrigation piping & isometric only.
 3. All contractor equipment, irrigation piping and other site project to be installed on site.
 4. All valves to be installed in accessible locations.
 5. Low voltage wiring from controller to irrigation valves shall be installed by irrigation contractor.
 6. All irrigation system piping, irrigation controller and blowoff valve by irrigation contractor.
 7. Traffic and fire lanes, shall 20" pipe or larger, for all lines under walkway. Signal depth minimum 600mm from surface.
 8. All valves to be installed in accessible locations. All valves to be installed in accessible locations. All valves to be installed in accessible locations.
 9. Irrigation contractor to provide system isolation valves at each zone control.
 10. Contractor to provide flow loss in location shown on plan.
 11. Field adjustment of irrigation based to maintain coverage and prevent dry spots. Field adjustment of irrigation based to maintain coverage and prevent dry spots.
 12. Field adjustment of irrigation based to maintain coverage and prevent dry spots. Field adjustment of irrigation based to maintain coverage and prevent dry spots.
 13. Field adjustment of irrigation based to maintain coverage and prevent dry spots. Field adjustment of irrigation based to maintain coverage and prevent dry spots.
 14. Irrigation contractor to provide flow loss in location shown on plan.
 15. Field adjustment of irrigation based to maintain coverage and prevent dry spots. Field adjustment of irrigation based to maintain coverage and prevent dry spots.

SCHEDULE C

This forms part of development

Permit # **DP12-0053**

P+A

City of Alexandria
 Planning and Zoning Department
 1200 North Washington Street
 Alexandria, VA 22304
 Phone: 703.222.1414
 Fax: 703.222.1415
 www.cityofalexandria.com



2 Issued for DP March 16, 2012
 1 Issued for Review March 13, 2012
 0112

Contractor/Engineer
 Catalina Green
 1000 North Washington Street
 Alexandria, VA 22304
 Phone: 703.222.1414
 Fax: 703.222.1415
 www.catalinagreen.com

VILLAGE AT THE PONDS
 IRROGAWA, NC

Project Title

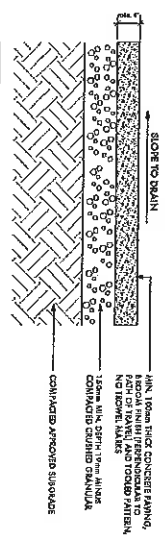
Phase 1 Landscape Irrigation Plan

Drawn By: JP
 Checked By: ES/HIS
 Date: 11-00
 11-00
 11-00

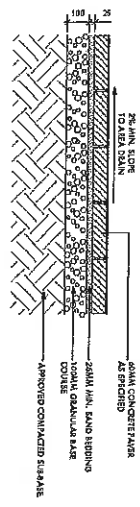
Scale: 1" = 40'

Sheet No.: L-4.0

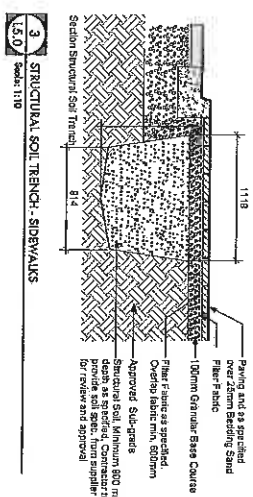
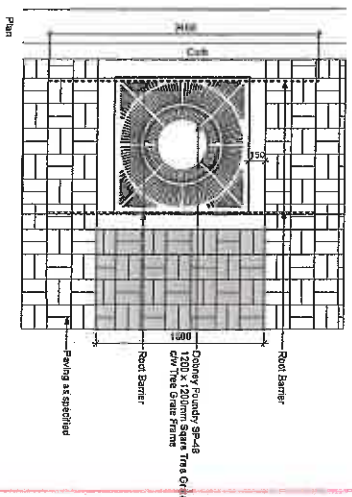
NOTE: JOINTS TO BE LOCATED AT 1.5m ON CENTER AND INTERFERE WITH BRICK AND NEW TRENCH.



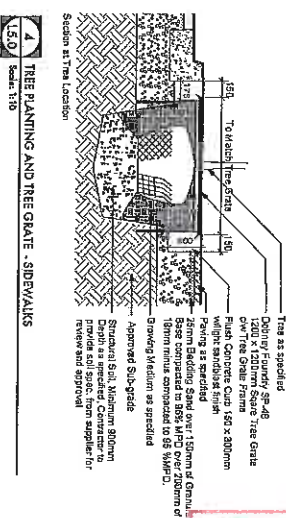
1 CONCRETE WALKWAY ON GRADE (PEDESTRIAN)
Scale: 1:10



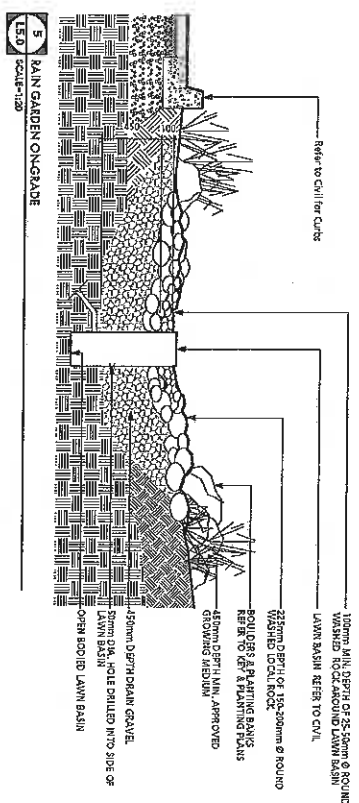
2 UNIT PAVING ON GRADE (PEDESTRIAN)
Scale: 1:10



3 STRUCTURAL SOIL TRENCH - SIDEWALKS
Scale: 1:10



4 TREE PLANTING AND TREE GRATE - SIDEWALKS
Scale: 1:10



5 MAIN GARDEN ON GRADE
Scale: 1:10

SCHEDULE
This forms part of development
Permit # **DPD-0003**

P+A
Perry + Associates
Landscape Architects
2000 West 10th Avenue
Kelowna, BC V1Y 9V6
Tel: 250-860-1111
www.perryandassociates.com



VILLAGE AT THE PONDS
KELOWNA, BC

Landscape Details

Drawn By: [Name]
Checked By: [Name]
Date: 11-05-2012
Scale: 1:5.0



RAYMOND
LETKEMAN
ARCHITECTS

inc

• • • • •
200-970 Homer St
Vancouver BC
Canada V6B2W7

Tel 604 669 3339
Fax 604 669 5651

• • • • •

July 13, 2012

Callahan Property Group Ltd
Suite 218 – 1626 Richter Street
Kelowna, BC
V1Y 2M3

Attention: Bruce Callahan

RE: THE PONDS VILLAGE CORE

Dear Bruce,

Further to our Architectural Guidelines (attached for your reference), we confirm our appreciation and opinion that the objectives of the Neighborhood 3 Area Structure Plan are substantially embedded in our development concept for the village core.

3.1 DEVELOPMENT VISION & OBJECTIVES

VISION

OBJECTIVES

While the commercial frontages flank both sides of Road "B" (Frost Road), upper floor uses above the phase one commercial buildings have not been included for this initial phase of development due to the difficult economic and market constraints for the start of the village core.

Given market conditions at the time of development it is hoped that upper floor residential or commercial uses may be incorporated for the second phase of development when the village core has become an established destination (south side of Frost Road).

It is noted that a "high street" (Frost Road) character with the fronting commercial storefronts, street parking and broad pedestrian walkways is the expected and desired character for this important village component as a main street.

3.2.4 COMMERCIAL/MIXED USE

The phase one building will be single storey structures as noted above. This concept was reviewed and approved by Kelowna staff during the early days of the concept development.

The required 2 meter building setback to Frost Road has been increased to 3 meters to provide wider pedestrian corridors in this area.

3.5 PEDESTRIAN SYSTEM



RAYMOND
LETKEMAN
ARCHITECTS

inc

• • • • •

Item d Siting. Some gaps have been indicated between buildings to recognize the special character of the small scaled building types but also to take advantage of the end building storefront exposures and to provide convenient and multiple pedestrian connections to the "rear" of the village core.

4.4.2 MASSING

Item a. Building Height

Single storey buildings are proposed for phase one as noted above. It is also noted that the proposed building heights and roof forms have been varied and raised to give an impression of larger building volumes.

4.4.3 ARCHITECTURAL CHARACTER

See attached Architecture Design Guidelines

4.4.4 STREETScape CHARACTER

See attached Architecture Design Guidelines

4.4.5 SIGNS

Further work with the selected tenants will occur to achieve the desired signage concepts and character.

We trust that this review summary will demonstrate how the proposed development concept has been based on the Area Structure Plan objectives.

Yours truly,



Raymond Letkeman MAIBC
RL/eh

Cc: Kim McKechnie



ARCHITECTURAL DESIGN GUIDELINES VILLAGE AT THE PONDS

THE BEGINNING OF THE VILLAGE – THE FOUR CORNERS

The village architecture will be seen as having a variety of building types and architectural expressions that could be seen as being “built over time”, all being influenced by the unique aspirations of their own period of time.

This will avoid the undesirable consistency of building types and expressions as seen by many of the current commercial centres.

The buildings fronting the four corners will reflect this philosophy with small scale buildings varied in building form and character.

These buildings will express more of the historic Mission area character and scale, but having a new contemporary twist in uses and architecture.

ie: transitional architecture based on the regional Mission agrarian roots and materials but with new contemporary forms, building detailing and use of materials.

COMMUNITY COMMONS

The “fourth” corner site (phase two) will feature an open space amenity to reflect the objective of becoming not only a commercial destination centre, but a community gateway destination to linger, shop and enjoy a unique informal lifestyle.

PARKING

Even though pedestrian connections and amenities are important for these emerging non-traditional shopping areas, convenient parking is vital for success, especially for this new location away from the high density community areas.

Key to this is to maximize the street parking on Frost Road to encourage shop owners to front the streets.

It is an important psychology regarding street parking convenience and market expectations. This has now become evident for all new commercial developments that have come to rely on predominant street parking to signal convenience to their customers and shop owners.

ACCESSIBILITY

Accessibility to all outdoor and indoor spaces will be provided for and included in the proposed landscape and built forms.

The following criteria will apply to all buildings and all phases of development:



SITE LAYOUT

- The site plan layout will be based on a walkable, pedestrian scaled village core fabric.
- The required site design components are:
 - A vehicular/pedestrian design for Frost Road.
 - A central four corners intersection with an open space amenity and food services such as coffee shops, cafes, bistros, etc. facing the intersection, all buildings having a pedestrian scale.
 - Inclusion of weather protection elements to the majority of the commercial storefronts.
 - Unique amenity features in distinctive plaza areas throughout the village core, all connected by pedestrian connections. Extra sidewalk widths shall be included to promote sidewalk uses through varied setbacks and building design.
 - Consistent but varied complementary exterior façade designs and finishes.
 - Location of garbage containers and receiving areas located away from prominent views to be screened and detailed to be complementary to the building designs.
 - Streetscape furnishings such as lighting, banners, trees, benches, bike racks, tree grates and guards, directional signage, garbage receptacles, etc. will promote the small scale, friendly and welcoming pedestrian village atmosphere.
 - Design layout to be responsive to CPTED (Crime Prevention Through Environmental Design) principles.

BUILDING FORM

- The building heights, massing, siding materials and colours should be responsive to the local regional architecture and to contribute to a landmark community destination village core.

BUILDING CHARACTER AND FINISHES

- Buildings should have high quality exterior materials, finishes and detailing.
- The building storefronts will be varied for a mix of building expressions but all having a consistency for a complementary village being “built over time”.
- Storefronts shall be transparent to engage varied interest for the tenant displays through multiple storefront proportions, to create a varied and interesting building façade.
- Roof shapes and parapet lines will define individual buildings to assist in breaking up the building massing and to provide unique building expressions.
- The weather protection canopies will be varied in type, size and materials to compliment the storefront design.
- Buildings fronting the four corners intersection will define a landmark destination scale and character for the village.
- Buildings should be designed as four sided buildings without having an inferior “rear elevation”.



STOREFRONT DESIGN

- Storefront facades should include architectural details to provide a sense of quality and local regional character to provide strong visual interest and to reduce the apparent massing of the buildings.
- This includes transparent, unique storefronts, well articulated building facades, changes in rooflines and heights, varied materials and colours.
- Pedestrian canopies and awnings to provide weather protection where appropriate.
- Exterior materials can include the following:
 - wood (stained)
 - cementitious siding (painted)
 - brick
 - stone
 - metal (prefinished)
 - glass
 - stucco, concrete (painted)
 - vinyl siding will not be permitted
- Roofing materials can include the following:
 - fiberglass shingle
 - concrete tile
 - metal standing seam roofing
 - flat roofs (SBS Roofing) A pattern of varied roofing colours is recommended to provide more interest to the single roofing colour.
 - wood shingle will not be permitted
- The facades of larger buildings will be interrupted to create an impression of multiple buildings or smaller façade proportions.
- All signage, amenity features, building detaching should be integrated into the building facades and overall village core expression.
- Should residential or office uses be located over the main level commercial storefronts, special consideration shall be given to express this upper use over a clearly defined commercial podium.
- Mechanical equipment and roof penetrations should be located and screened to minimize its appearance to the street, adjacent buildings. The screening of this equipment shall be consistent with the architecture of the building.

SIGNAGE

- Signage should have an interesting pedestrian scale. All architecturally integrated with the buildings designs.
- The design of these signs should be co-ordinated throughout the village core to establish an overall unified and attractive character.
- All signage shall comply with the City of Kelowna's Sign Bylaw requirements.
- Pedestrian scaled monument signs are encouraged uniquely designed.
- Projecting blade signs are encouraged.
- Façade/fascia signage should consist of channel lettering.



KEY PHASE ONE BUILDINGS

THE MARKET BUILDING (Building A)

The entry/cashier/vegetable/fruit area of the market building will anchor the westerly end of the village, immediately next to the four corner buildings.

This above area will be featured with its own casual "market type" building expression of glazing, informal materials and simple roof form and detailing.

The remaining building behind will be buried into the grade and be thought of as an "addition" to the main entry building form.

Glazing will be featured in the entry area to front Frost Road, westerly entry façade and to the parking to the north.

FEATURE BUILDING (Building B)

This small scaled feature building is located between the four corners intersection and the market building to the west.

A unique, round, drum shaped building feature is seen as an important fronting building component as an "addition" to a simple small scaled but elegant building of the region's character.

THE COFFEE HOUSE (Building E)

The coffee house (Building E) will anchor the four corners with its social use, destination, outdoor "dining" activities and distinctive character and tower element.

This building could be most "traditional" in architecture and could include a bell/carillon tower to reinforce this community destination and identity.

The south/west outdoor orientation to the sun and four corners is of vital importance to this proposed use with outdoor dining functions.

It is here where people can sit, eat, and meet each other. Colourful umbrellas and interesting outdoor patio furniture should be located at this outdoor plaza area.



THE CORE (MULTI-USE) BUILDING (Building F)

This central building will provide pedestrian connections from the four corners buildings to the pharmacy building that will include covered connections to all sides of the building.

The shop fronts will face both Frost Road and to the parking to the north with potential back to back tenant spaces.

The architecture of this building should be varied in form but quieter than the other “free standing” buildings to either side.

Steel and glass canopies will be incorporated into the storefront facades for weather protection around this building.

THE PHARMACY BUILDING (Building G)

The pharmacy building will anchor the easterly end of the phase one village core.

This building will be the most contemporary with its architecture but having similar detailing components as the other buildings. This will express the expectations and nature of the pharmacy use.

Glazing will front Frost Road, westerly entry façade and to the parking to the north.

Building entrances should front Frost Road and to the amenity plaza to the west. The loading/receiving area (located to the east) shall be well screened and shielded from adjacent views.